



SUBMITTAL REQUIREMENTS FOR RESIDENTIAL PLAN REVIEW

The City of Lebanon Building Division requires three (3) complete sets of plans and two (2) sets of specifications and structural calculations to be submitted at the time of permit application. The City also requires a reproducible (8½" x 11" or 11" x 17") site plan that incorporates all relevant site information. Please see the “**Residential Plan Intake Checklist**” that has been developed to help you understand the basic information that must usually accompany your construction documents. There are also various “**Example Plans**” available for your perusal to include a:

- Site plan;
- Foundation plan;
- Floor framing plan;
- Floor plan;
- Roof framing plan;
- Building elevations; and,
- Cross section details.

Please complete the “**Permit Application**” that guides an applicant through the typical questions that if known in advance, will greatly reduce or expedite the overall review time of your construction project, as well as help ensure accurate building permit and plan review fees.

Once a complete set of residential plans is received, the review is generally completed within two weeks. The applicant will be contacted by staff when the plan review is complete and the permits are ready to be issued.

Submittal Requirements:

- One (1) completed copy of the “**Residential Plan Intake Checklist**”
- One (1) completed copy of the “**Residential Energy Checklist**”
- One (1) completed copy of the “**Permit Application**”
- One (1) copy of a photo reproducible (8 ½ “ x 11” or 11” x 17”) **Site Plan**
- Three (3) sets of complete **Building Plans** [only two (2) sets of Building Specifications and Calculations required]



RESIDENTIAL PLAN INTAKE CHECKLIST

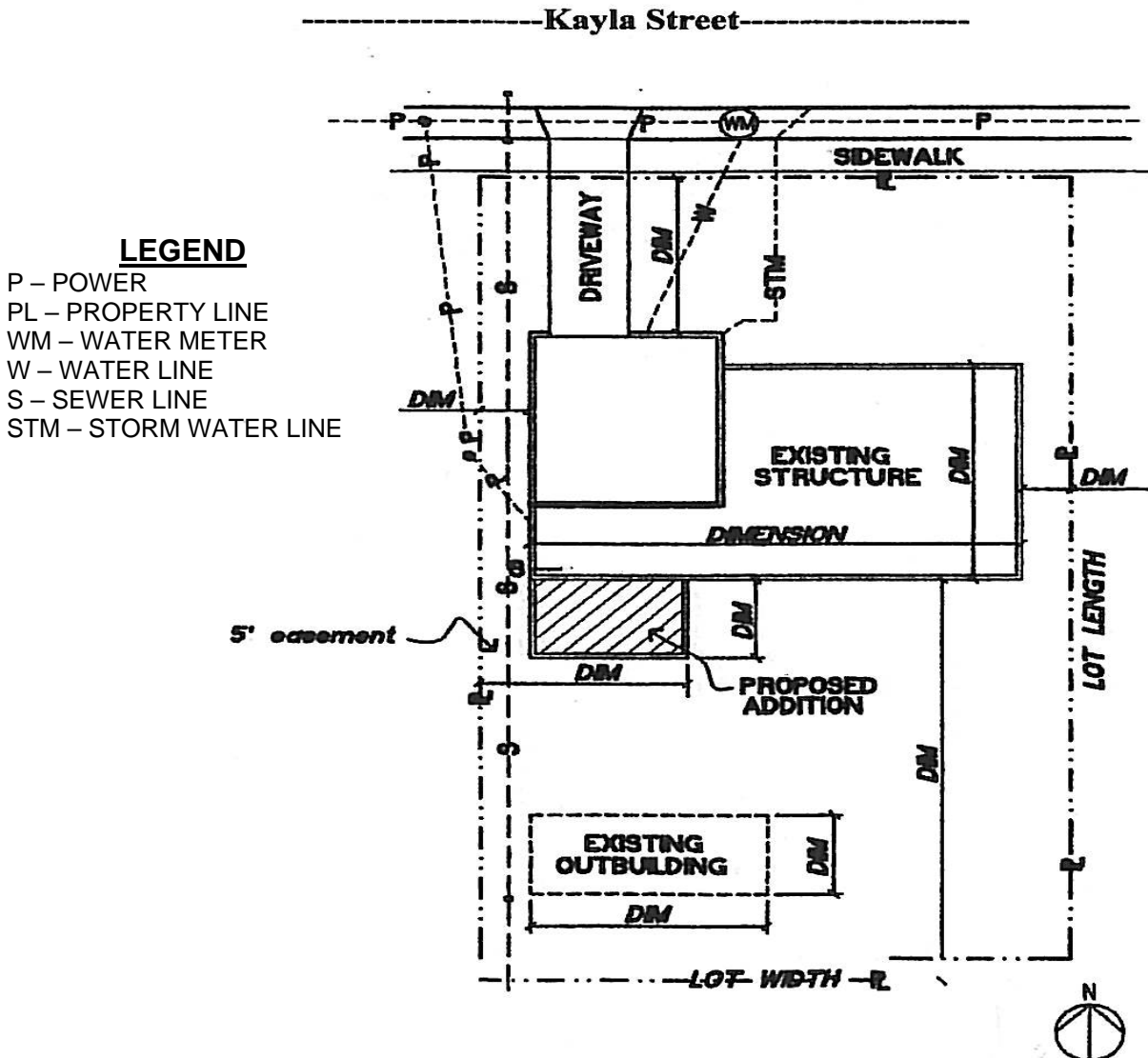
		Yes	No	n/a
1	Three (3) sets of legible plans drawn to scale, showing conformance to the applicable local and state building codes. Lateral design details and connections must be incorporated into the plans or on a separate full size sheet attached to the plans with cross-references between plan location and details. Plan review cannot be completed if copyright violations are evident.			
2	Site/Plot plan drawn to scale. The plan must show: scale, north direction arrow, lot dimensions, topography or grade, complete building footprint (including porch and decks), all existing structures on site, actual setbacks to the existing and proposed buildings and all improvements from property lines and other buildings, full street and right-of-way widths, location of sidewalks, parking areas, driveways, public and private easements, water and sewer services, septic system and well (if applicable), complete address or street, location and extent of fill on the lot, building coverage area, and impervious surface area.			
3	Foundation plan and Cross Section. Show footing and foundation dimensions, anchor bolts, any hold-downs and reinforcing steel, connection details, vent size and location, type of underfloor framing, and soil type.			
4	Floor plans. Show all dimensions, room identification, door and window sizes and locations, location of smoke detectors, water heater, HVAC equipment, ventilation fans, plumbing fixtures, balconies and decks. Indicate the type of fuel each appliance utilizes such as gas, electric, etc.			
5	Cross section(s) and details. Show all framing member sizes and spacing such as floor beams, headers, joists, sub-floor, wall construction, roof construction. More than one cross section may be required to clearly portray construction. Show details of all wall and roof sheathing, roofing, roof slope, ceiling height, siding material, footings and foundation, stairs, fireplace construction, thermal insulation, ventilation for attic and/or vaulted ceiling area, etc.			
6	Elevation views. Provide elevations for new construction; minimum of two elevations for additions and remodels. Exterior elevations must reflect the actual grade if the change in grade is greater than 4 ft. at building envelope. Full size sheet addendums showing foundation elevations with cross-references are acceptable.			
7	Wall bracing (prescriptive path) and/or lateral analysis plans. Building plans must show construction details and locations of lateral brace panels; for non-prescriptive path analysis provide engineered specifications and calculations.			
8	Floor/roof framing plans are required for all floors/roof assemblies indicating beam and member sizing, spacing and bearing locations, nailing and connection details. Show location of attic ventilation.			
9	Basement and retaining wall cross sections and details showing placement of reinforcing steel, drains and waterproofing shall be provided. Engineered plans are required for retaining walls exceeding 4' in height and basement walls not complying with the prescriptive code requirements. For engineered systems, see item 13 for "Engineer's calculations".			
10	Beam calculations. Provide two sets of calculations using current code design values for all beams and multiple joists that exceed prescriptive code requirements, and/or any beam/joist carrying a non-uniform load.			
11	Manufactured floor/roof truss design details.			
12	Energy Code Compliance. Identify the prescriptive path or provide calculations.			
13	Engineer's calculations when required or provided, (i.e., shear wall, roof truss, retaining walls exceeding 4') shall be stamped by an engineer or architect licensed in Oregon and shall be shown to be applicable to the project under review by cross-reference to the applicable plan location.			
14	Geotechnical Report for Geo Hazard Areas.			

Checklist must be completed before plan review start date. Minor changes or notes on submitted plans may be in blue or black ink. Red is reserved for department use only.

THE SITE PLAN SHOULD INCLUDE:

- Name of applicant and address of the project;
- Plans shall be drawn to scale and should indicate direction of North;
- All property lines and any recorded easements or setbacks;
- Location of streets and alleys;
- Contour lines at 2' intervals if lot is not relatively flat;
- Locations, dimensions and use of existing and proposed structures;
- All utilities such as sewer, storm, water, power and gas service;
- Locations of driveways, porches, decks, retaining walls and/or out buildings;
- Any wetlands or flood zones; and
- Check with Planning and Engineering Divisions for additional requirements, if any.

The site plan is an aerial drawing of a property showing dimensions of the lot, location of streets or alleys, streams, hills or other topographic irregularities, all utilities, and dimensions and locations of existing and proposed structures.

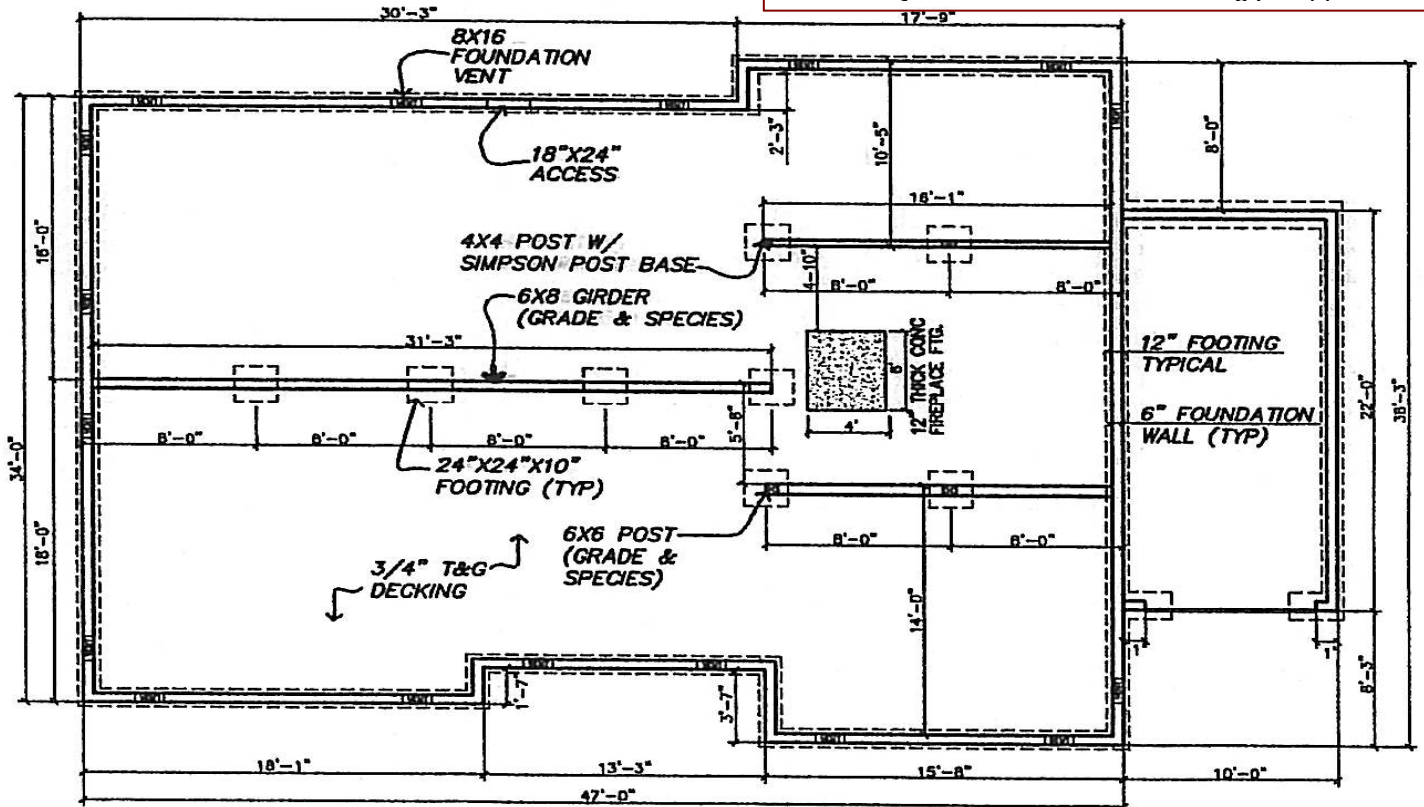


SITE PLAN
SCALE: 1" = 20'

THE FOUNDATION PLAN SHOULD INCLUDE:

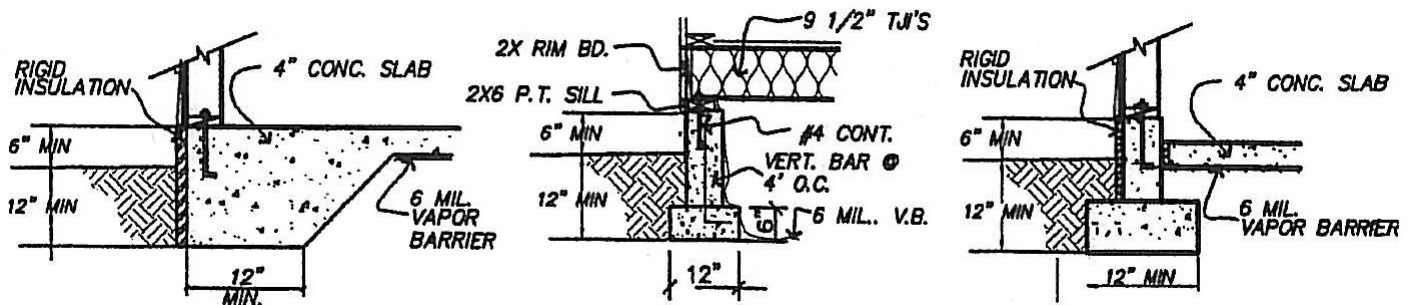
- Size, shape and dimensions of the footings, stemwalls and basement walls as applicable;
- All steel reinforcing bars as required, including the size, spacing (or pattern), lap and locations;
- Size, type and locations of under-floor ventilation and vapor barrier requirements;
- Any unusual topography or elevation changes and any steps in the foundation as a result thereof;
- Specify all hold-downs and anchor bolts including their size, spacing and manufacture;
- Incorporate any necessary details that may be associated with the installation;
- Any anticipated fills or excavations;
- Foundation drainage requirements and low point drain.

The foundation plan is used to determine how the weight of the building is to be distributed over the soil on which it sits in conjunction with the floor framing plan(s).



FOUNDATION PLAN

SCALE: 1" = 8'

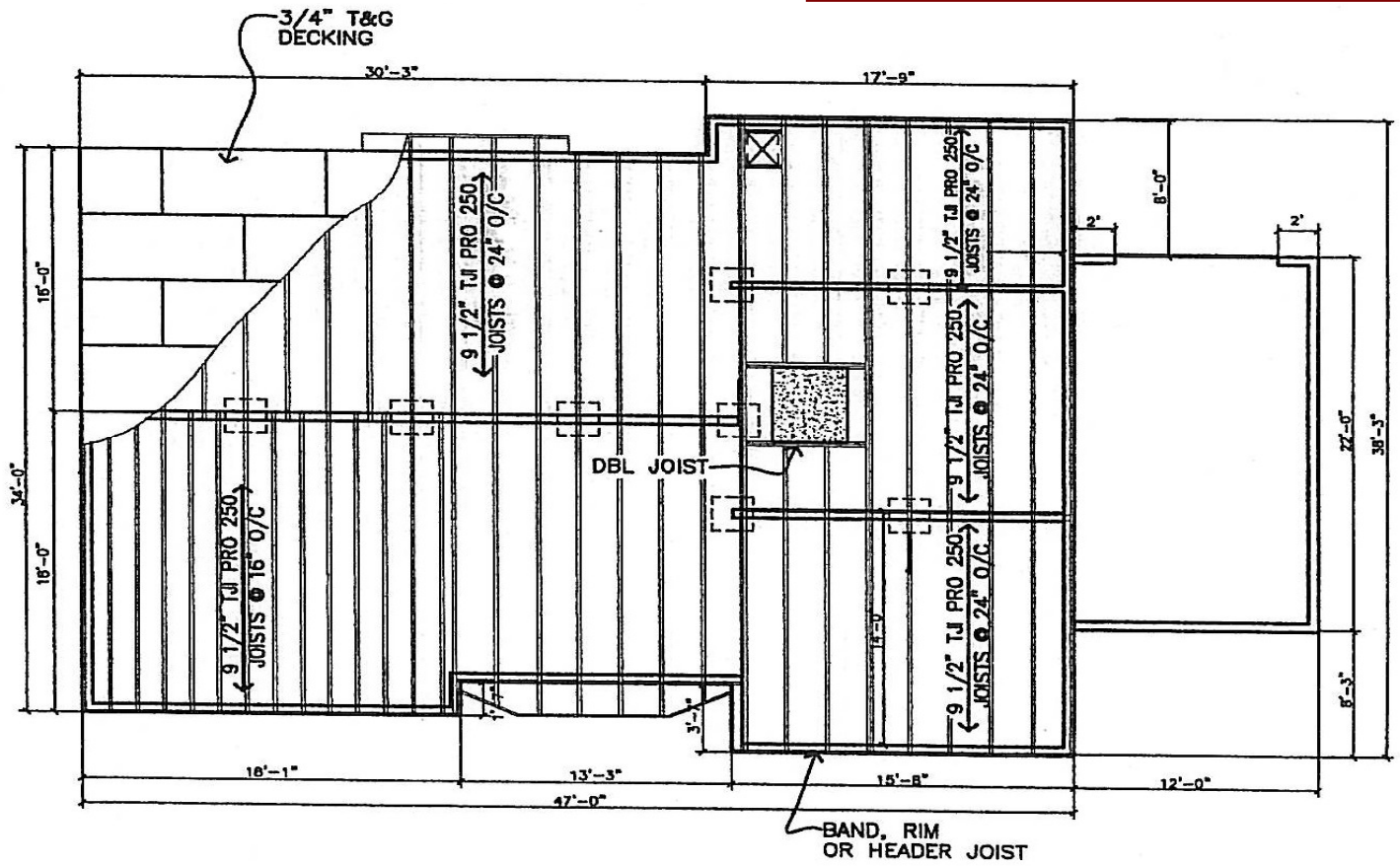


FOUNDATION DETAILS

THE FLOOR FRAMING PLAN SHOULD INCLUDE

- The size, type, location and orientation of all members such as beams, girders and joists. Include their spans and bearing points;
- The sizes and locations of any pony walls, posts and expanded footings;
- Type of decking;
- Indicate grades of lumber and whether or not pressure treated material is to be utilized;
- Show all blocking, bracing and/or hardware required;
- Indicated under-floor access to all sub-divided areas as needed to include sizes and clearances; and
- Specify vapor barrier installation.

The floor-framing plans is generated to show the sizes, type and spacing of all floor-framing members such as joists, girders, beams and headers to include manufacturer's specific installation requirements for pre-engineered products.

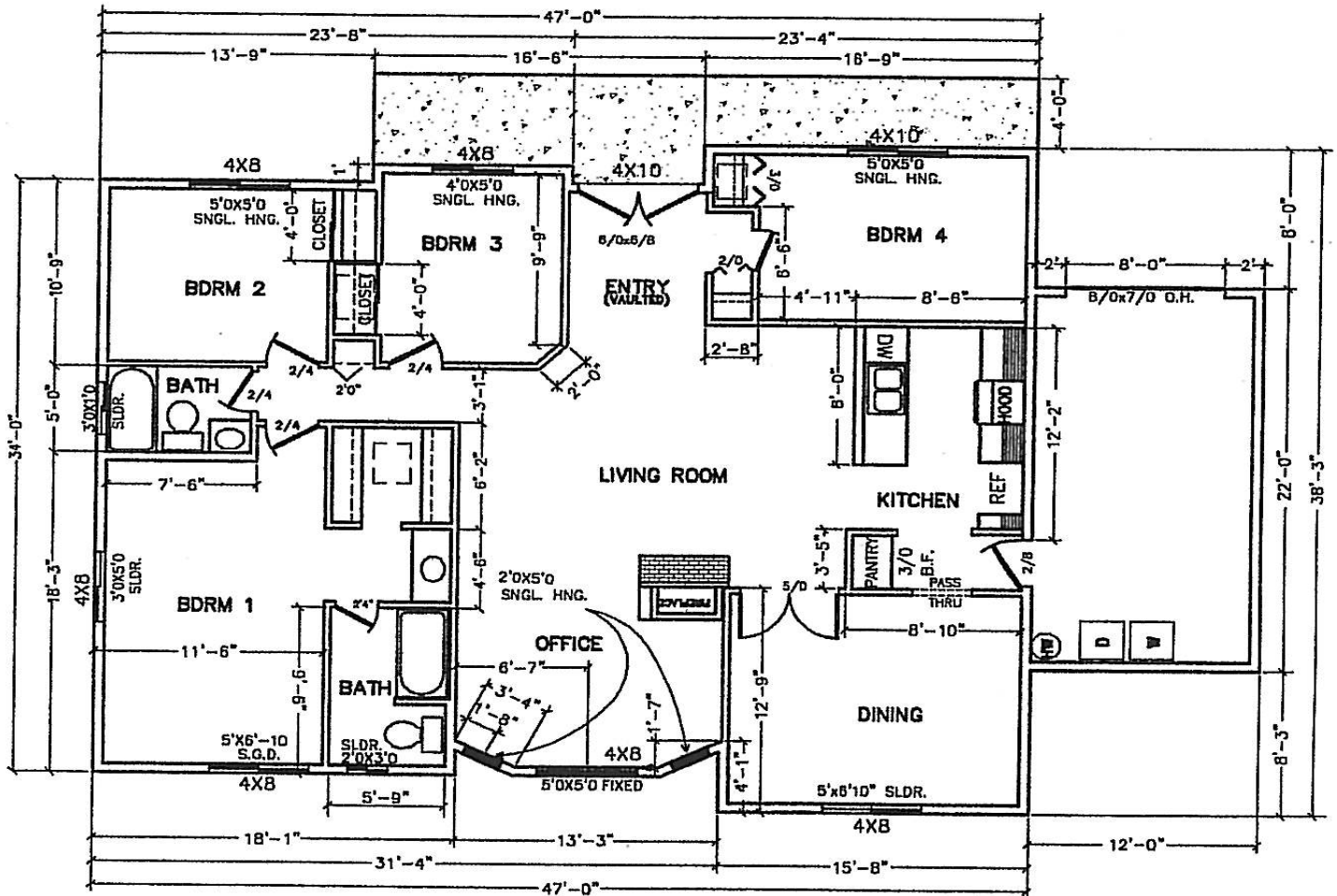


FLOOR FRAMING PLAN
SCALE: 1" = 8'

THE FLOOR PLAN SHOULD INCLUDE:

- Proper scale;
- Arrangement of walls & rooms, their end use and all dimensions;
- Location, type & size of windows & doors to include their opening direction or size;
- Location of all appliances such as water heater, stove, washer/dryer & furnace - include fuel requirements;
- Indicate any fireplaces, wood stoves or inserts;
- Location of all plumbing fixtures including hose-bibbs, garbage disposal & dishwasher;
- Specify location of exhaust fans;
- Location of smoke detectors; and
- Specify tempered/safety glass in hazardous locations.

The floor plan is a drawing indicating permanent structural or non-structural elements of the construction project. It should include room configurations, doors, windows, appliances. All areas shall be designated as to their use.

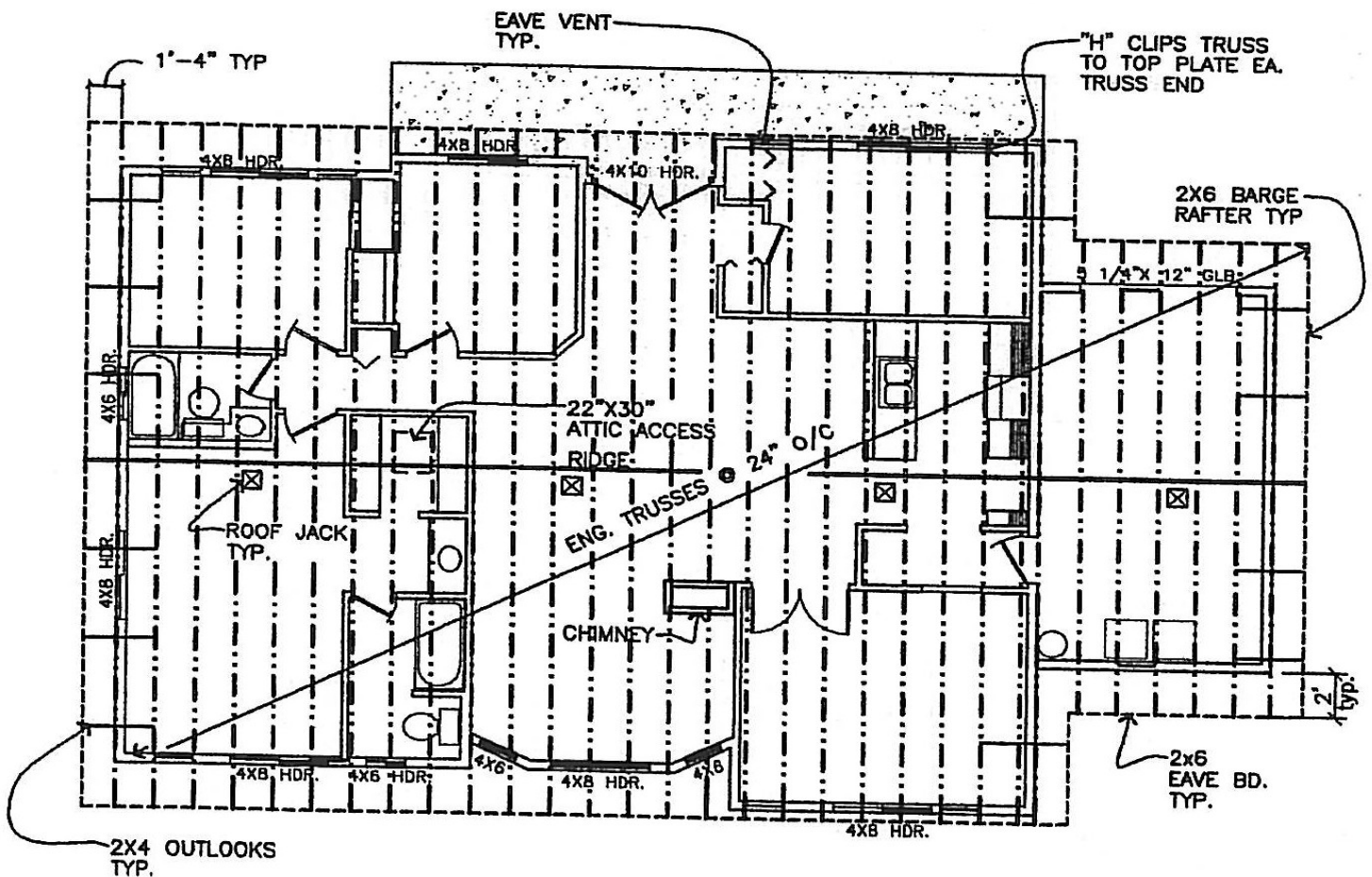


FLOOR PLAN
SCALE: 1" = 8"

THE ROOF FRAMING PLAN SHOULD INCLUDE:

- Size, type, orientation and span/spacing of all structural members;
- Indicate whether or not the roof systems is composed of engineered trusses, stick frame or a combination thereof;
- Specify sizes and locations of any porch beams and wall headers throughout the structure;
- Show all hips, valley's, split-levels, overhangs, crickets, etc.;
- Indicate all various slopes/pitches and any interior vaults;
- Stipulate roofing material, ventilation and any required flashing;
- Indicate attic access size and location(s);
- Show roof drainage procedures; and,
- Indicate bearing points and uplift resistance methods.

The roof-framing plan is used in part to verify all imposed loads associated with the climate / location the structure is built in. It should indicate roof slopes, hips, valleys and structural members.



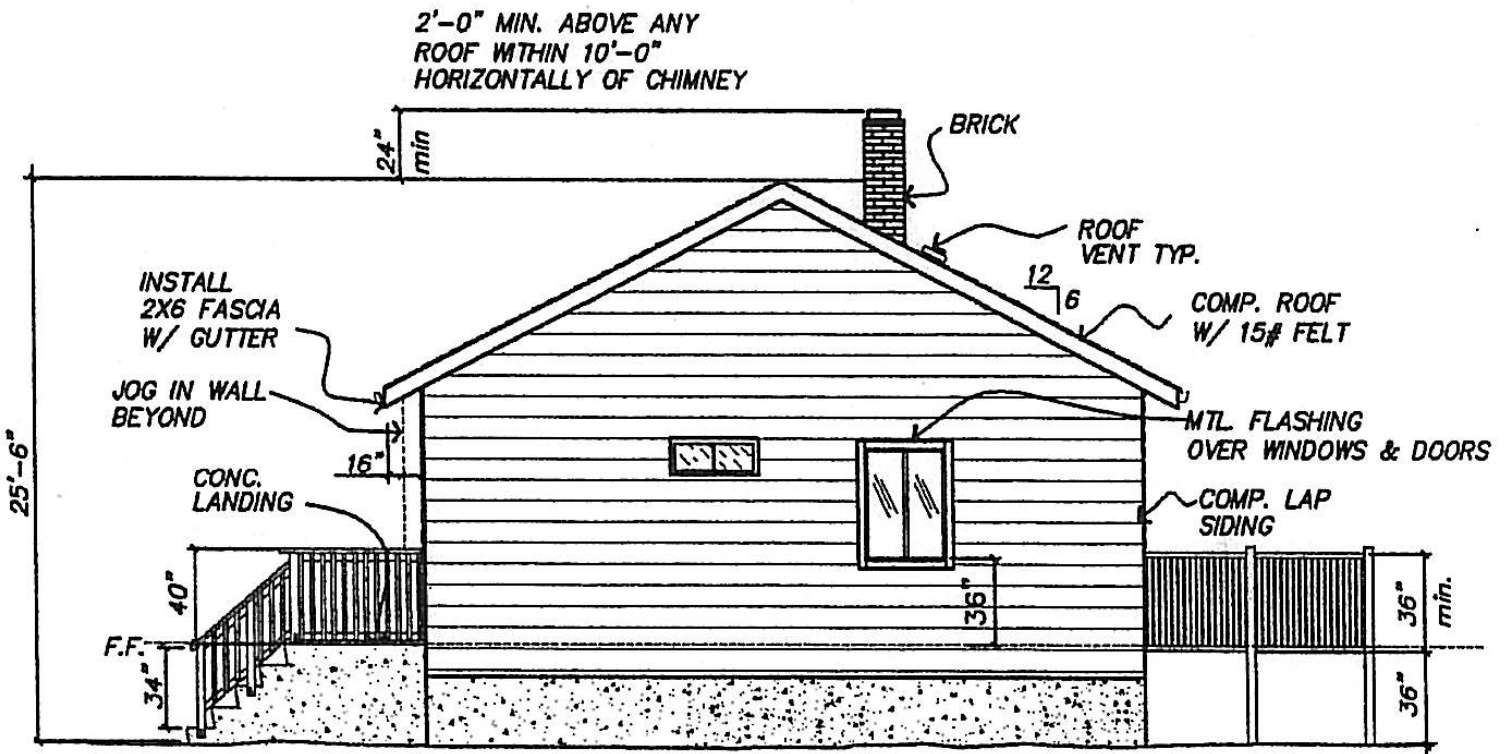
ROOF FRAMING PLAN

SCALE: 1" = 8'

ELEVATIONS SHOULD INCLUDE:

- Scale and compass point;
- Location, size, and height of windows & doors;
- Roof slopes and material;
- Relationship of additions or alterations as applicable;
- Height of landings, decks, stairs and guardrails;
- Siding materials and clearance to grade;
- Indicate any changes in elevations and/or setbacks to ascending or descending grade;
- Flashing specifications;
- Gutters and downspouts;
- Gas meter, heat pumps and other utility entrances; and
- Physical address.

Elevations show roughly what the exterior of the structure will look like when finished. They should include all four directions unless they are very similar in nature.



36" HIGH GUARDRAIL WITH INTERMEDIATE RAILS SPACED SO THAT AN OBJECT 4"Ø CAN NOT PASS THROUGH. (REQUIRED IF 30" OR MORE ABOVE GRADE)

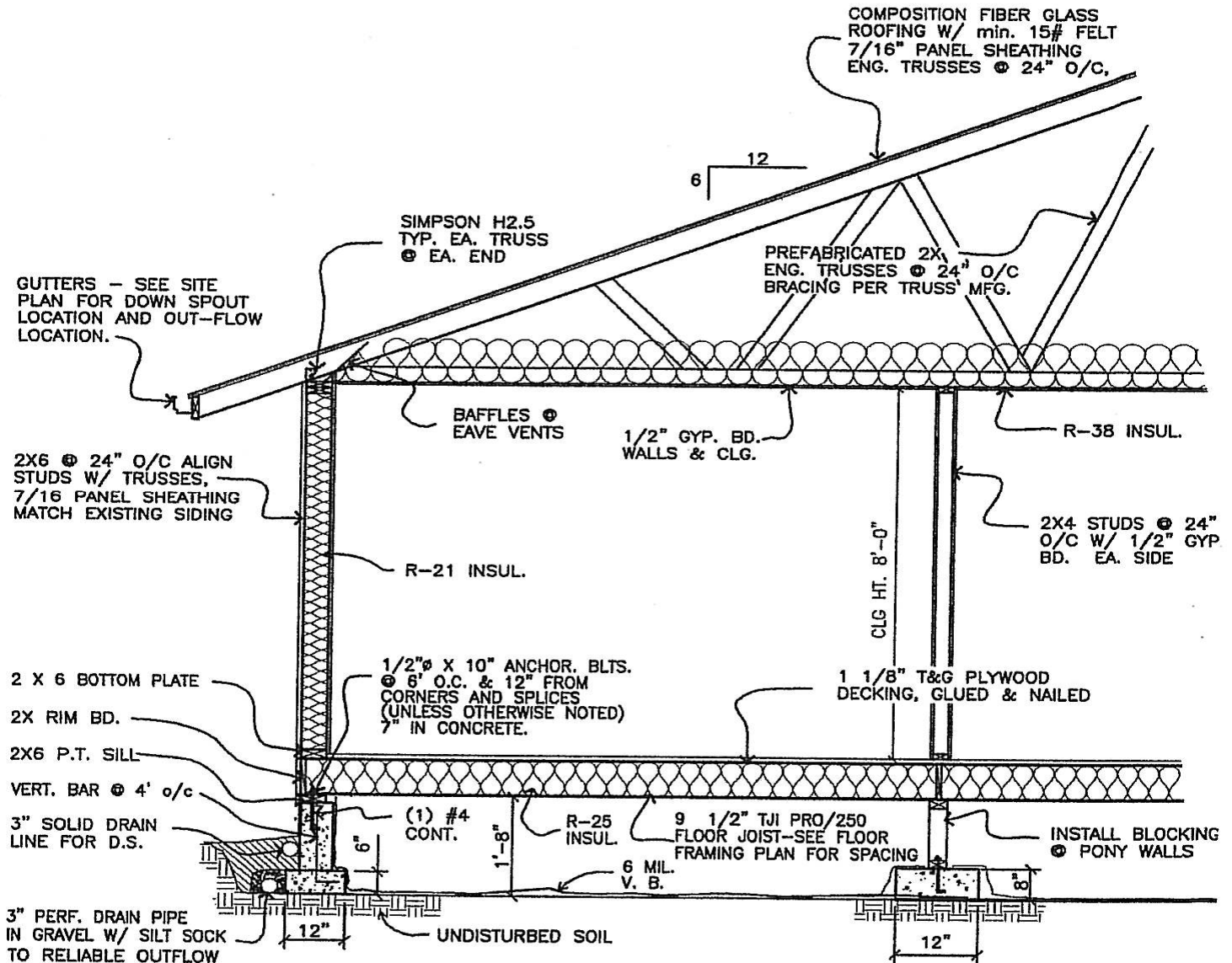
SIDE ELEVATION

SCALE: 1/8" = 1'

BUILDING SECTIONS SHOULD INCLUDE:

- Structural connection details between the foundations, floors, walls and roof/ceilings;
- Insulation details and "R"-values, vapor barriers and ventilation specifics;
- Walls, foundation, floors and roof construction details;
- Roof, site and foundation drainage specifics;
- Specific hardware installation details;
- Roofing and siding materials;
- Under-floor clearances;
- Attic details;

Sections are no more than an inside view of a slice out of your project. Building sections are a great way to enter a lot of additional required information and can also be used for more specific details in conjunction with the other examples.



WALL SECTION
SCALE: 3/8" = 1'



Citizen Services & Development Center
 925 Main Street, Lebanon, Oregon 97355
 Phone: 541-258-4906 / Fax: 541-258-4955
 24 Hour Inspection Line: 541-258-4908
 www.ci.lebanon.or.us

Residential Energy Checklist

Job Address _____

Permit # _____

		MEASURES																												
		Floors		Fenestration					Walls		Ceilings				HVAC			Ltg.		Misc.										
		Slab edge perimeter R-15	Heated slab, interior R-10	Windows & sliding glass doors U-0.35	Windows & sliding glass doors U-0.32	Skylights ≤2% htd space flr area ^A	Skylights >2% htd space flr area U-0.60	Exterior doors ≤28 ft² U-0.54	Exterior doors >28 ft² U-0.20	Doors w/ >2.5ft² glazing U-0.40 ^B	Above grade wall insulation R-21	Above grade wall U-0.047 ^C	Below grade wall insulation R-15	Flat ceilings R-38	Flat ceilings R-49	(1) Vaulted cell. ≤50% htd flr area U-0.042 ^D	(1) Vaulted ceilings >50% htd flr area ^E	(2) Vaulted ceilings ≤50% htd flr area R-30A	(2) Vaulted ceilings >50% htd flr area ^F	Forced air duct insulation R-8	90% AFUE furnace, 8.5HSPF heat pump, 3.0COP ground source heat pump	Performance tested ducts	All interior ducts ^G	50% fixtures – high efficiency	75% fixtures – high efficiency	On-demand water heating	Solar photovoltaic	Solar water heating		
ADDITIONAL MEASURE PATH		Underfloor R-30																												
1	High efficiency HVAC																													
2a	High efficiency ducts – certified-sealed																													
2b	High efficiency ducts – all interior ^E																													
3	High efficiency building envelope																													
4a	Zonal elec ht, ductless furn or ht pump-hi eff ltg																													
4b	Zonal elec ht, ductless furn or ht pump-U-032 window & sl glass doors																													
4c	Zonal elec ht, ductless furn or ht pump-improved ceilings																													
4d	Zonal elec ht, ductless furn or ht pump-R24 wall																													
5	High efficiency windows/ceilings/lighting																													
6	High efficiency windows/ceilings/water htg																													
7	High efficiency water heating/lighting																													
8	Solar photovoltaic																													
9	Solar water heating																													

- A Skylights with vinyl, wood, or thermally broken aluminum frames and low-emissivity coatings shall be deemed to satisfy this requirement if total skylight area installed is 2% or less of total heated space floor area.
- B Hinged doors only – does not include sliding glass doors. Sliding glass doors are categorized with windows. Glazing that is either double pane with low-e coating on one surface, or triple pane shall be deemed to comply with this U-0.40 requirement.
- C Must have a U-factor of 0.047 or less. See Table N1104.1(2) for acceptable assemblies/U-factors.
- D R-38 standard scissored truss is U-0.042. 10-inch deep rafter vaulted ceiling with R-30 is U-0.033 and complies with this requirement.
- E Must have a U-factor of 0.031 or less. See Table N1104.1(2) for acceptable assemblies/U-factors.
- F Must have a U-factor of 0.025 or less. See Table N1104.1(2) for acceptable assemblies/U-factors.
- G Air handler must be sealed combustion-air unit with air supply ducted from outdoors and is located within the conditioned space when all-interior ducts are utilized.

Contractor _____ Signature _____ Date _____

INSTRUCTIONS FOR APPLICANT (party that is applying for permit)

- 1 Applicant must select the Additional Measure Path from the left-hand column for the project being submitted for building permit.
- 2 Make sure all copies of the plans and specifications contain all applicable Measure specifications as identified in the third row of the Checklist.
- 3 Make sure all copies of the plans contain locations of all *permanently installed* lighting fixtures that are installed inside the building (house, garage, basement, etc) and attached on the outside of building. Identify on all plans those high efficiency fixtures being installed to meet new code requirements.
- 4 When High Efficiency HVAC equipment is used, identify the Make and Model number on plans or specifications to demonstrate compliance.

INSTRUCTIONS FOR PLANS EXAMINER (verifying compliance with new code)

- 1 Verify that the selected Additional Measure Path requirements are specified on the plans and specifications.
- 2 Check the appropriate box for each Measure after verifying that it has been included on the plans and/or specifications.
- 3 Note those measures that do not comply with code and have the applicant re-submit plans and/or specifications that specify code-complying requirements.



City of Lebanon Permit Application

925 Main Street, Lebanon, Oregon 97355 · Phone 541-258-4906 · Fax 541-258-4955
 bldpermits@ci.lebanon.or.us · www.ci.lebanon.or.us
 Inspection Request 1-888-299-2821 or at www.buildingpermits.oregon.gov

TYPE OF WORK	
<input type="checkbox"/> New construction	<input type="checkbox"/> Tenant Improvement
<input type="checkbox"/> Addition / Alteration / Replacement	<input type="checkbox"/> Hood Suppression
<input type="checkbox"/> Fire Sprinkler	<input type="checkbox"/> Fire Alarm
<input type="checkbox"/> Mechanical	<input type="checkbox"/> Plumbing
<input type="checkbox"/> Other	
CATEGORY OF CONSTRUCTION	
<input type="checkbox"/> 1- and 2-family dwelling	<input type="checkbox"/> Commercial / Industrial
<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Multi-family
<input type="checkbox"/> Demolition	<input type="checkbox"/> Other:
DESCRIPTION OF WORK – PLEASE BE SPECIFIC	
JOB SITE INFORMATION AND LOCATION	
Project Name:	
Job Site Address:	
Tax map/parcel no.:	
PROPERTY OWNER INFORMATION	
Business name:	
Contact name:	
Address:	
City/State/ZIP:	
Phone: ()	
Email:	
APPLICANT INFORMATION	
Business name:	
Contact name:	
Address:	
City/State/ZIP:	
Phone: ()	
E-mail:	
CONTRACTOR INFORMATION	
Business name:	
Contact name:	
Address:	
City/State/ZIP:	
Phone: ()	
E-mail:	
CCB #	
PRIMARY CONTACT INFORMATION	
Contact name:	
Phone: ()	
E-mail:	

1- AND 2-FAMILY DWELLING	
<input type="checkbox"/> Single Family Dwelling	<input type="checkbox"/> Duplex
If a duplex, how many sanitary lines? <input type="checkbox"/> 1 <input type="checkbox"/> 2	
If a duplex, how many water meters? <input type="checkbox"/> 1 <input type="checkbox"/> 2	
Does your project include lawn irrigation? <input type="checkbox"/> Y <input type="checkbox"/> N	
Does your project include air conditioning? <input type="checkbox"/> Y <input type="checkbox"/> N	
Do you plan installing brick veneer? <input type="checkbox"/> Y <input type="checkbox"/> N	
Are there any known fills on the site? <input type="checkbox"/> Y <input type="checkbox"/> N	
Is there a well currently on the site? <input type="checkbox"/> Y <input type="checkbox"/> N	
Are you installing a septic tank/drainfield? <input type="checkbox"/> Y <input type="checkbox"/> N	
Total square footage of impervious surface:	
Habitable Space:	square feet
Garage Area:	square feet
Porches & Decks:	square feet
Accessory Building:	square feet
Other structure area:	square feet
MECHANICAL INFORMATION	
Number of Appliances included in project:	
Water Heater	Bath Exhaust Fans
Furnace	Dryer
Heat Pump / A/C	Wood / Pellet Stove
Unit / Wall Heater	Fireplace
Exhaust Hood	# of Gas Outlets
COMMERCIAL / INDUSTRIAL	
Permit fees are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.	
Total Valuation	
Existing building area:	square feet
New building area:	square feet
Number of stories:	
NOTICE	
Time limitation of application. An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extension of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.	
BUILDING DIVISION COMMENTS	